



DEVELOPMENT PERMIT NO. DP001371

BALLENAS HOUSING SOCIETY, INC.NO. S0026246
Name of Owner(s) of Land (Permittee)

55, 65, 69, AND 73 PRIDEAUX STREET
Civic Addresses

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Descriptions:

LOT D, SECTION 1, NANAIMO DISTRICT, PLAN 3421

PID NO. 006-157-131

LOT 12, BLOCK 46, SECTION 1, NANAIMO DISTRICT, PLAN 584

PID NO. 008-803-102

LOT 13, BLOCK 46, SECTION 1, NANAIMO DISTRICT, PLAN 584

PID NO. 008-803-111

LOT 14, BLOCK 46, SECTION 1, NANAIMO DISTRICT, PLAN 584

PID NO. 008-803-129

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Properties Map

Schedule B Site and Parking Plans

Schedule C Building Elevations and Details

Schedule D Landscape Plans and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.

5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 11.5.1 Siting of Buildings* – to reduce the minimum front yard setback as shown on Schedule C as follows:
 - (a) for the first storey, from 3.0m to 1.5m for the north portion of the building;
 - (b) for the first storey, from 3.0m to 0.0m for an entry feature; and
 - (c) for the second and third storeys, from 4.0m to 1.5m for the north portion of the building.

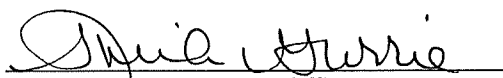
The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 7.5 Accessible Parking* – to reduce the minimum required number of accessible parking spaces from 8 spaces to 6 spaces.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan and Parking Plans prepared by Low Hammond Rowe Architects, dated 2025-JUN-25 and 2025-JUN-04, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Low Hammond Rowe Architects, dated 2025-JUN-04, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plans and Details prepared by Kinship Design Art Ecology, dated 2025-JUN-02, as shown on Schedule D.
4. Lot Consolidation of 55, 65, 69 and 73 Prideaux Street prior to submission of a building permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 21ST DAY OF JULY, 2025.


Corporate Officer

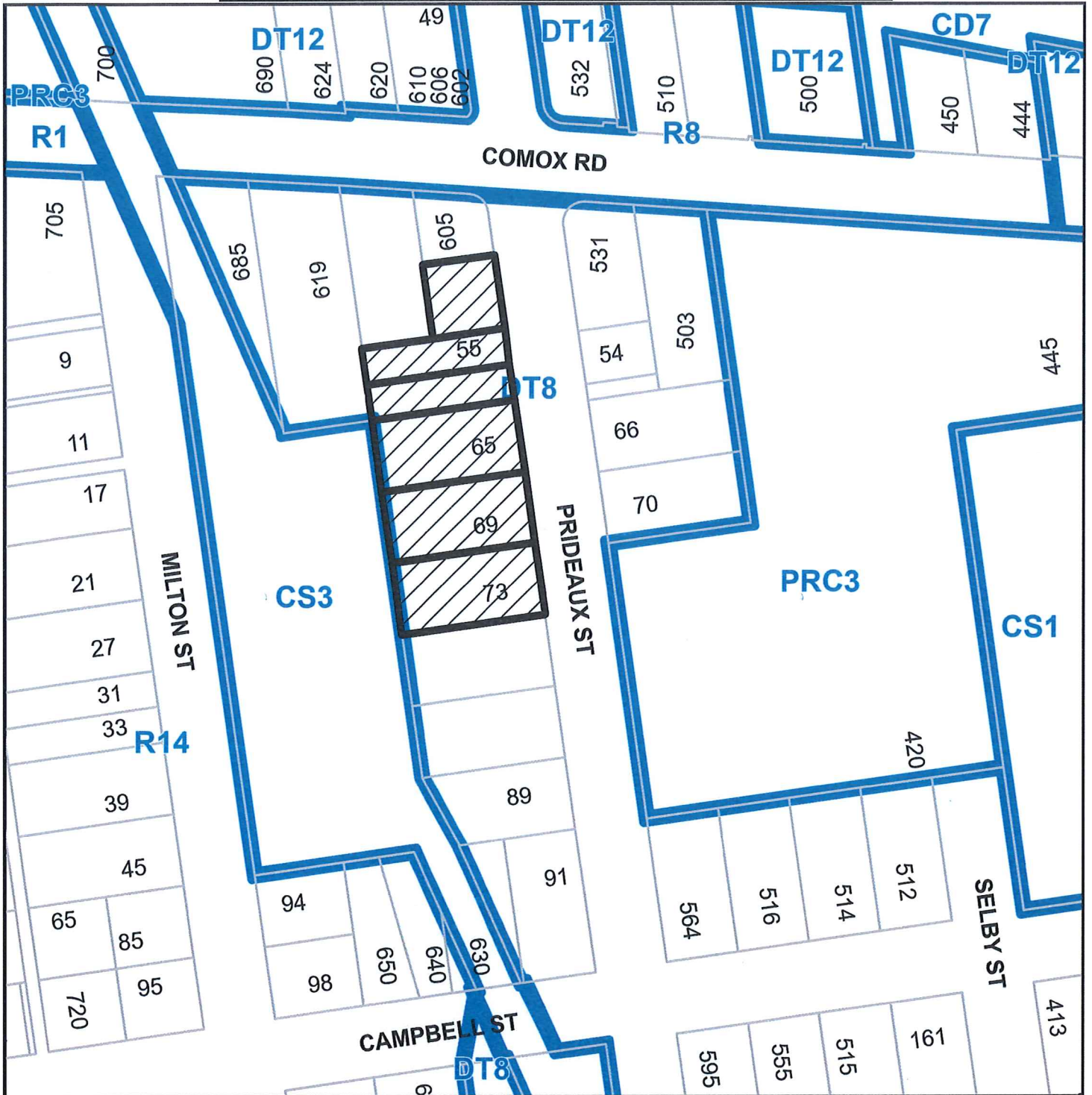
Sheila Gurrie
Corporate Officer
City of Nanaimo



Date

Development Permit No. DP001371
55, 65, 69, and 73 Prideaux Street

Schedule A

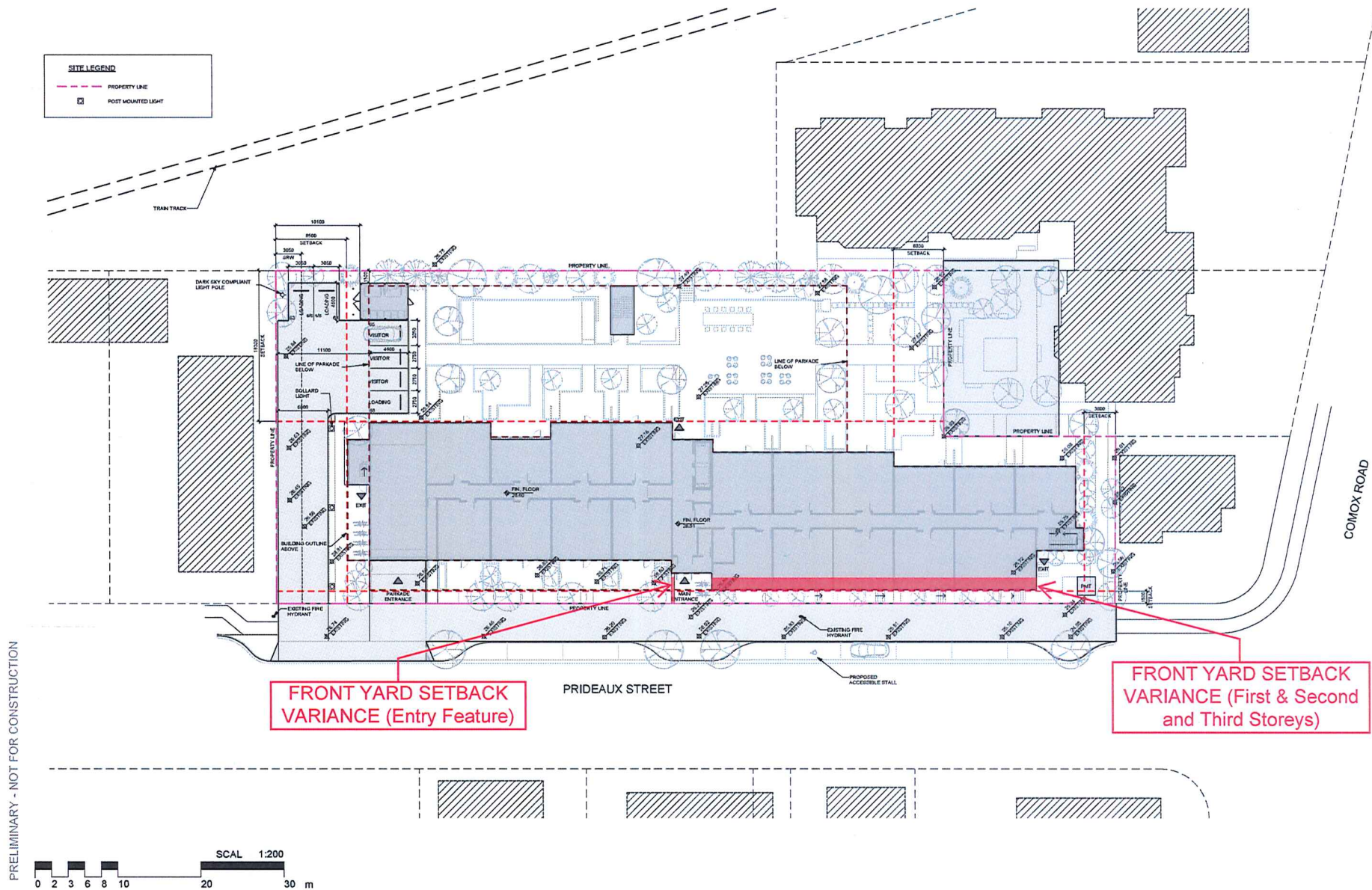
SUBJECT PROPERTIES MAP



 55, 65, 69 & 73 PRIDEAUX STREET



SITE AND PARKING PLANS



LOW HAMMOND ROWE ARCHITECTS



BALLENAS
HOUSING SOCIETY

TRACKSIDE
55, 65, 69, 73 PRIDEAUX, NANAIMO, BC

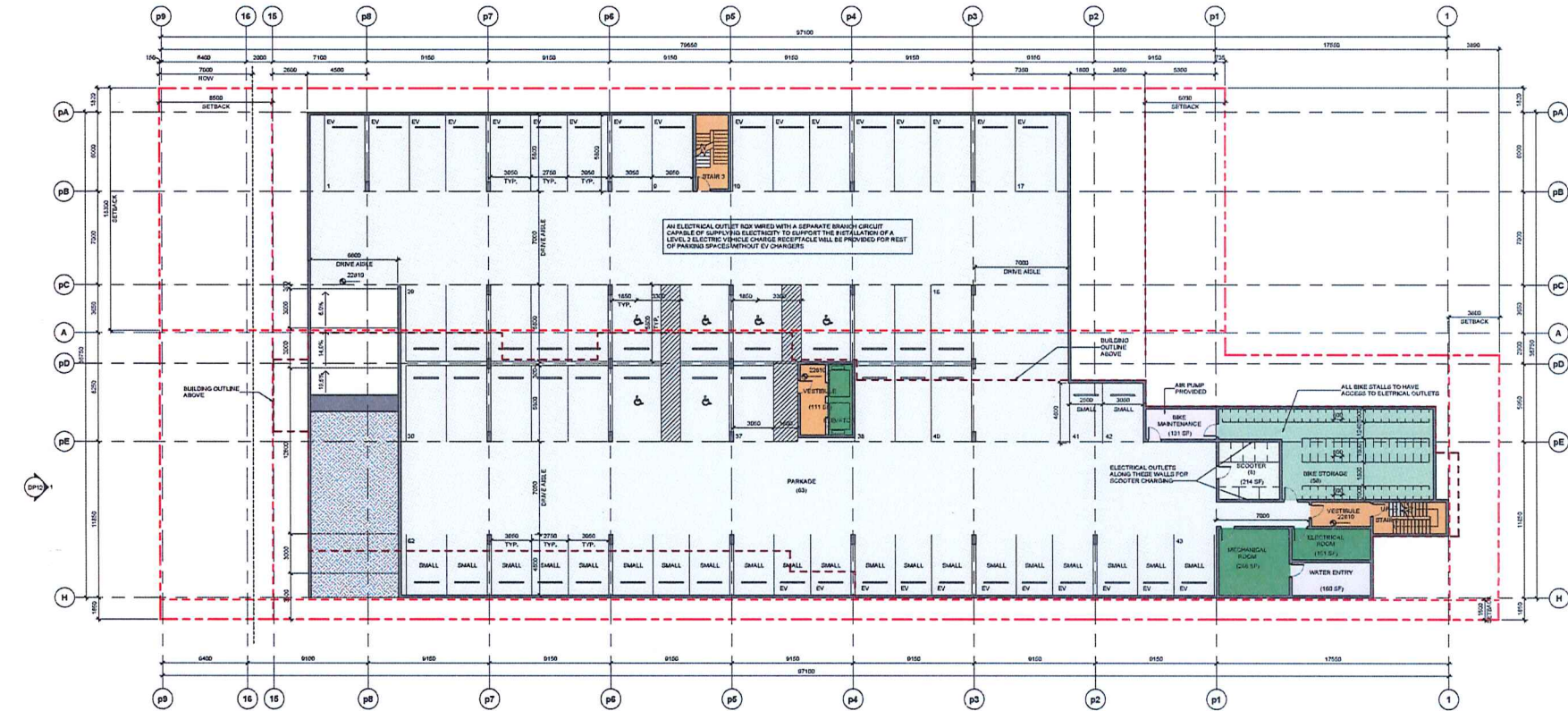
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DP1371
2025-JUL-03
Current Planning

scale As
indicated

SITE PLAN
date 2025-06-25

DP05

PRELIMINARY - NOT FOR CONSTRUCTION



LOW HAMMOND ROWE ARCHITECTS



BALLENAS HOUSING SOCIETY

TRACKSIDE
55, 65, 69, 73 PRIDEAUX, NANAIMO, BC

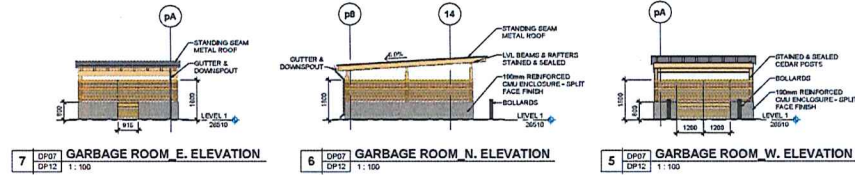
PARKADE FLOOR PLAN
scale 1:150 date 2025-06-04

DP06

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BUILDING ELEVATIONS AND DETAILS



ELEVATION MATERIALS & LEGEND



10 CEMENTITIOUS PANELS - WHITE



10 CEMENTITIOUS PANELS - LIGHT GREY



10 CEMENTITIOUS PANELS - CHARCOAL



10 CEMENTITIOUS SIDING - WHITE



2 COPPER PANEL



3 CEDAR SOFFIT



4 CURTAIN WALL - CHARCOAL



5 CHARCOAL VINYL FRAMED WINDOWS



6 SACK RUBBED CONCRETE FINISH



7 BIKE RACK



8 GLASS GUARDRAIL / PRIVACY SCREEN



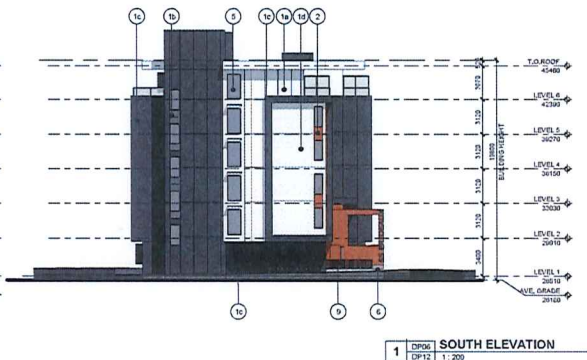
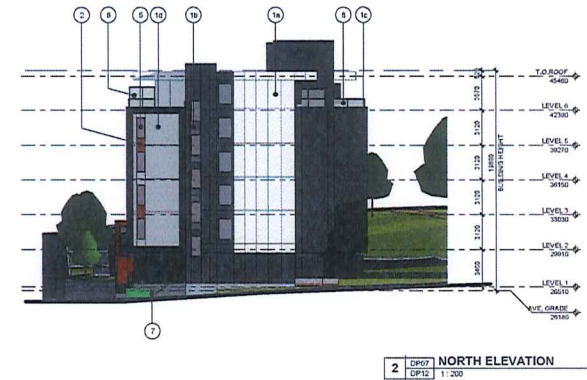
9 GUARDRAIL



10 VERTICAL SUNSHADE



11 PRIVACY SCREEN



PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE PLANS AND DETAILS

Trackside Multi-Family

55, 65, 69, 73 Prideaux, Nanaimo, BC

LANDSCAPE ARCHITECTURAL DRAWINGS

REISSUED FOR DEVELOPMENT PERMIT - JUNE 02, 2025

LANDSCAPE DRAWING SCHEDULE

L0.00 Cover Page

L1.01 Landscape Plan

L1.02 Landscape Details

1. Fence Type 01 - 1.80m High Black Metal Fence
2. Fence Type 02 - 1.07m High Black Metal Fence
3. Recessed Wall Lighting
4. Bollard Lighting
5. Bicycle Rack

L1.03 Landscape Details

6. Bench Type 01
7. Bench Type 02
8. Large Communal Table
9. Bistro Table & Chairs

L2.01 Planting Plan South

L2.02 Planting Plan North

L2.03 Plant Legend, Plant List, and Planting Notes

L3.01 Tree Management Plan

L3.02 Tree Protection Fencing

LANDSCAPE DESIGN PRECEDENTS



01 Evergreen native ground covers dominate plant palette to reinforce forest understory / woodland edge



02 Lush plantings of flowers, herbs, and food producing plants



03 Bollard lighting within woodland & courtyard garden



04 Large communal table, common area space

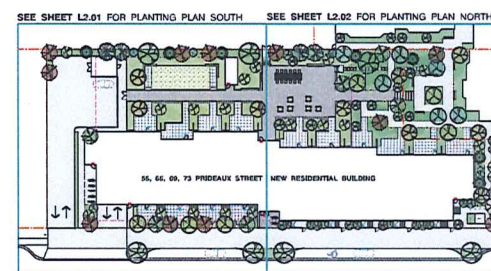


05 Bench Type 02: timber bench integrated into railing / planter walls



06 Bench Type 01: timber bench with back & armrests

KEY PLAN



DESIGN RATIONALE

Trackside is a Ballenas Housing Society residential development located on Prideaux Street near the intersection of Comox Road in the Old City neighbourhood of Nanaimo. The site is approximately one acre, with the E&N Rail forming a prominent rear-yard boundary. Four existing structures will be replaced with a single new building situated in a healthy, restorative landscape.

The new landscape is inspired by the Coastal Douglas Fir ecosystem, and is designed to provide a communal backyard that offers an outdoor refuge for residents. Incorporating generous, thoughtful outdoor spaces in an affordable housing development demonstrates compassion for each resident's need for access to a safe, comfortable space outside.

The landscape at Trackside represents a major improvement in the social and ecological function of the site, and is possible due to locating virtually all parking underground. Designing a functional landscape atop an underground parkade presents specific constraints, manifested in the key elements highlighted on the Landscape Plan.

The design concept for the Trackside development rests on three fundamental ideas:

- That outdoor spaces are to be shared equitably, promoting a sense of home and community for all residents;
- That urban landscapes are to be productive and restorative, promoting good health and wellbeing; and
- That engaging urban landscapes merge architectural and ecological functions, integrating human life into the environment.

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CLIENT

Ballenas Housing Society

NO.	DATE	ISSUE
1	2024-10-17	DP: SUBMISSION
2	2025-04-02	DP: REVISION 1

NO.	DATE	REVISION
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PROJECT

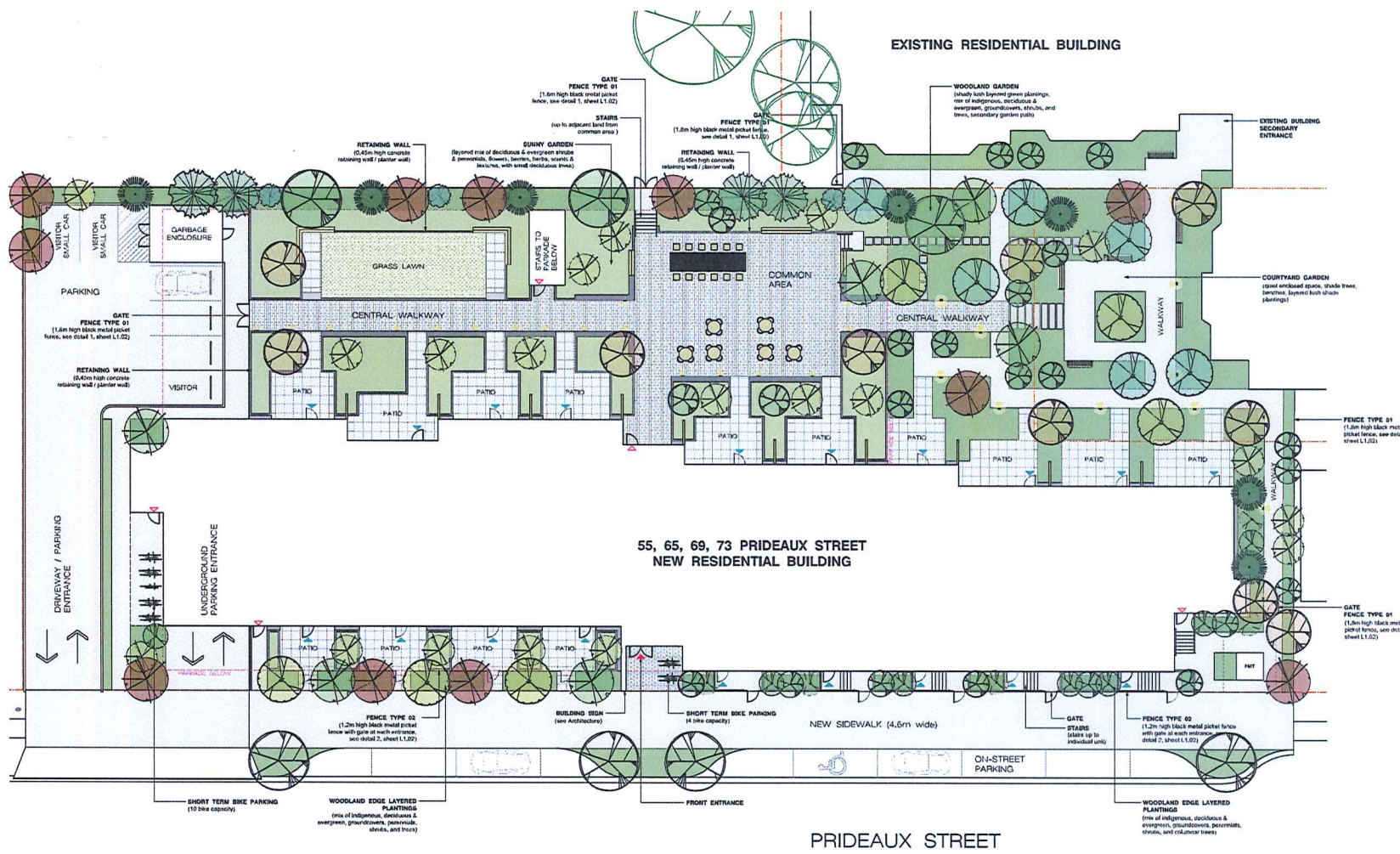
20611
TRACKSIDE
55, 65, 69, 73 PRIDEAUX STREET
NANAIMO, BC

COVER PAGE

CITY FILE NO.

SCALE 1:500
DATE 2024-10-01
DB CM CB ND

L0.00



LANDSCAPE LEGEND

- BENCH TYPE 01**
(see detail 5, sheet L1.02, freestanding bench with back & armrests)
Quantity: 6
- BENCH TYPE 02**
(see detail 7, sheet L1.02, wood bench integrated into retaining wall)
Quantity: 5
- BICYCLE RACK**
(Total Capacity: 14)
Quantity: 7
(see detail 3, sheet L1.02)
- ENTRANCE - MAIN**
- EXIT**
- INDIVIDUAL RESIDENTIAL ENTRANCE / EXIT**
- FENCE TYPE 01**
(1.8m high black metal picket fence, see detail 1, sheet L1.02)
Height: 1.8m
- FENCE TYPE 02**
(black powder coated metal picket fence, see detail 2, sheet L1.02)
Height: 1.07m
- FENCE TYPE 03 - SCREEN**
(wood screen between individual patios)
Height: 1.8m
- LIGHTING - BOLLARD**
Quantity: 12
(see detail 4, sheet L1.02)
- LIGHTING - RECESSED WALL**
Quantity: 17
(see detail 3, sheet L1.02)
- CONCRETE**
Area: 413m²
- CONCRETE UNIT PAVEMENT TYPE 01**
Area: 331m²
- CONCRETE UNIT PAVEMENT TYPE 02**
Area: 344m²
- CONCRETE UNIT PAVEMENT TYPE 03**
Quantity: 29
- DRAIN ROCK**
(building perimeter)
Area: 19m²
- GRASS LAWN**
Area: 68m²
Soil Depth: 150mm
- PLANTED AREA OVER PARKADE**
Area: 690m²
Soil Depth: 400mm min.
- PLANTED AREA**
Area: 690m²
Soil Depth: 450mm

1. All landscape construction to be in accordance with the City of Nanaimo Engineering Standards & Specifications.
2. All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard.

Refer to Sheet L1.02 & L1.03 for Landscape Details

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LANDSCAPE PLAN SCALE 1:150

kinship
design • art • ecology

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katie@kinshipdesign.ca
chris.middley@kinshipdesign.ca



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1	2024-10-17	OF 2: PRELIMINARY
2	2025-06-02	OF 2: REVISIONS

NO.	DATE	REVISION
1	2025-06-02	OF 2: REVISIONS

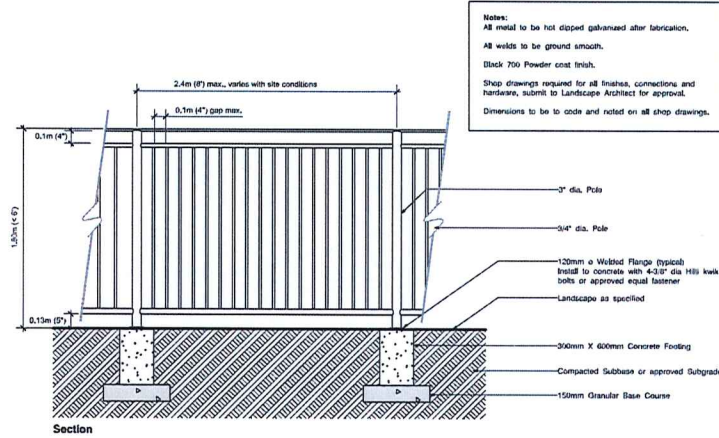
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PROJECT 20041
TRACKSIDE
55, 65, 69, 73 PRIDEAUX STREET
NANAIMO, BC

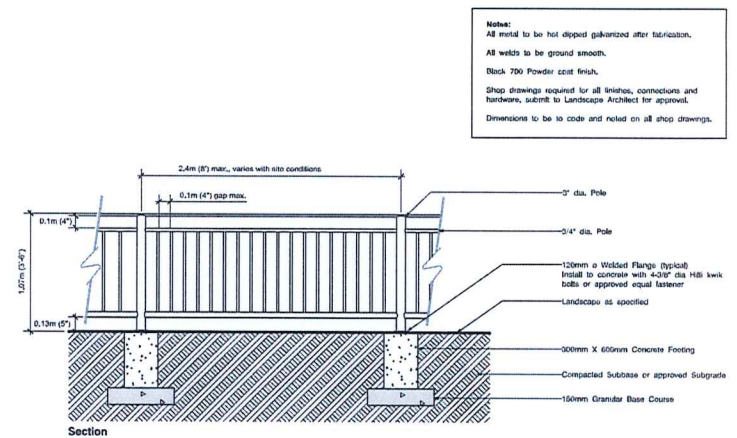
LANDSCAPE PLAN

CITY FILE NO.
SCALE 1:150
DATE 2024-10-01
DB CAI **CS** NC

L1.01



1
L1.02 **Fence Type 01 - 1.80m High Black Metal Fence**
Scale: 1:20 Section



2
L1.02 **Fence Type 02 - 1.07m High Black Metal Fence**
Scale: 1:20 Section

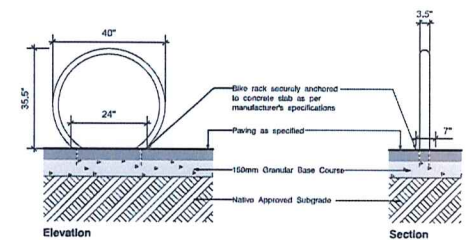
BEGA Recessed Wall Luminaire 24060 (or eq.)	
Quantity: 17	
Specifications:	
Approximate Forward Throw	
Operating Voltage	120-277V AC
Luminaire Lumens	846 Lumens (3000K)
Height	5\"/>

3
L1.02 **Recessed Wall Lighting**
Scale: NTS

BEGA Exterior Bollard Light 99558 (or eq.)	
Quantity: 12	
Specifications:	
Surface Mount (B78517 Anchorage kit)	
Operating Voltage	120-277V AC
Luminaire Lumens	1560 Lumens (3000K)
Height	43-50\"/>

4
L1.02 **Bollard Lighting**
Scale: NTS

Loop 2 Space Bike Rack LBRP-1-SS (Stainless) (or eq.)	
Quantity: 7	
Specifications:	
Surface Mount (RHS1-1 Stainless steel mounting kit to be included)	
Capacity	up to 2
Height	35.5\"/>



5
L1.02 **Bicycle Rack**
Scale: NTS Elevation / Section

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Freestanding Bench with Back & Armrests
Quantity: 6
Notes:
 Image is indicative of design intent only, detail drawings for specific bench will be provided with Building Permit drawing submission.
 Metal frame with wood seat and backrest.
 Bench to be surface mounted to concrete.



6 Bench Type 01
 L1.03 Scale: NTS

Wood bench without back & armrests, integrated into concrete retaining walls
Quantity: 6
Notes:
 Image is indicative of design intent only, detail drawings for specific bench will be provided with Building Permit drawing submission.
 Metal frame with wood seat.
 Wood bench seat to be mounted to concrete retaining wall.



7 Bench Type 02
 L1.03 Scale: NTS

Communal Table & Seating
Quantity: 1
Notes:
 Image is indicative of design intent only, detail drawings for specific table & seating benches / stools will be provided with Building Permit drawing submission.
 Metal frame with wood top.
 Table to be mounted to surface.



8 Large Communal Table
 L1.03 Scale: NTS

Table & Chairs
Quantity: 6
Notes:
 Image is indicative of design intent only, detail drawings for specific table & chairs will be provided with Building Permit drawing submission.



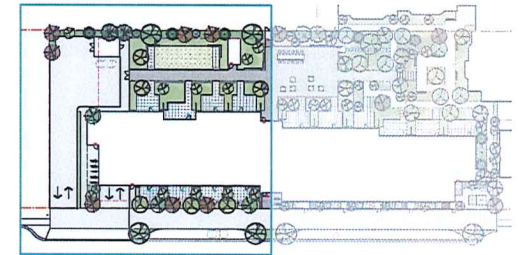
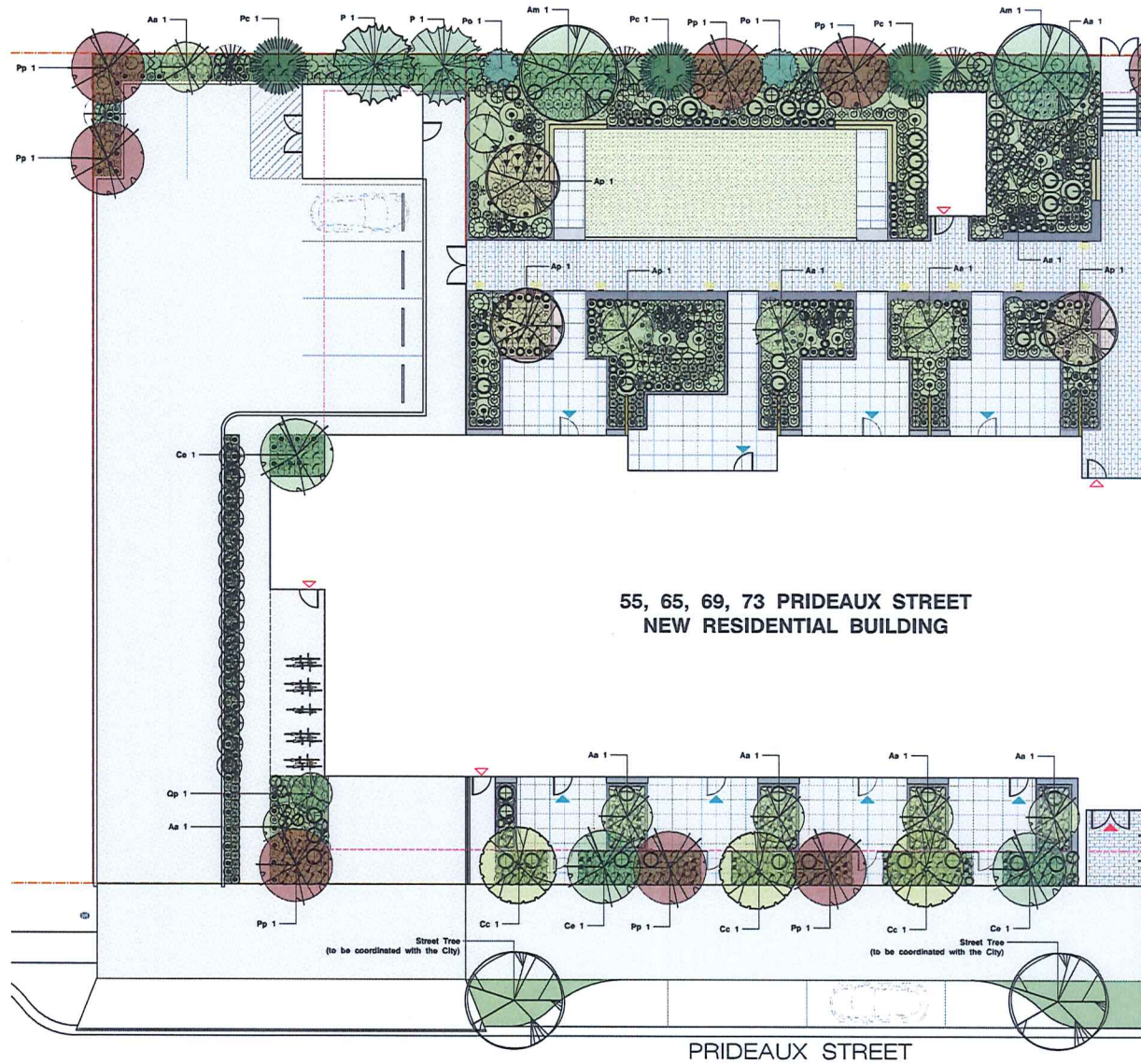
9 Bistro Table & Chairs
 L1.03 Scale: NTS

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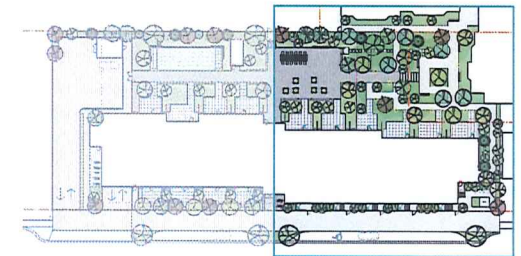
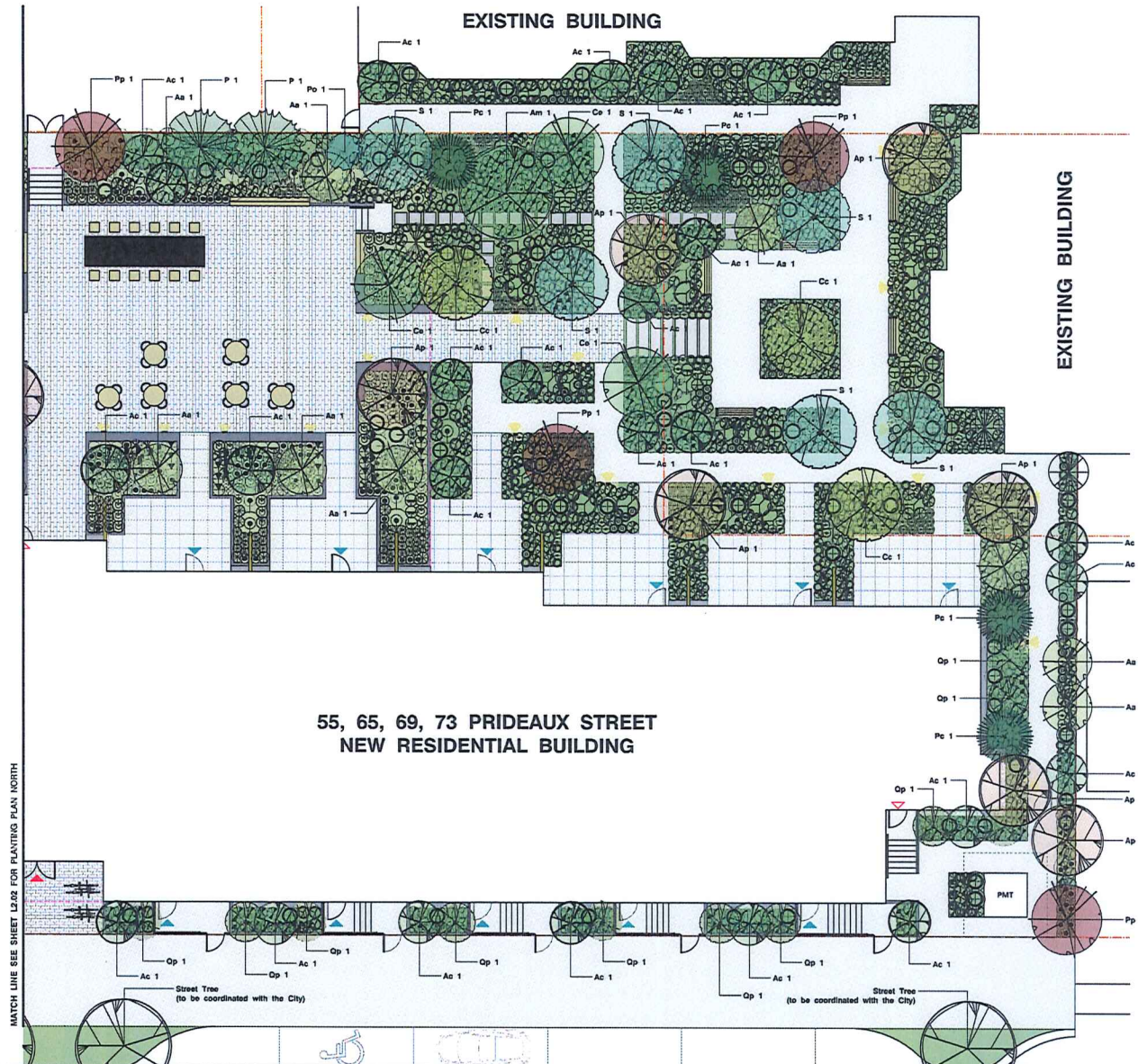
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1	2024-10-17	DP 1371 DESIGN
2	2025-06-02	DP 1371 DESIGN



Refer to Sheet L2.02 for Planting Plan (North)
Refer to Sheet L2.03 for Plant Legend,
Plant List, and Planting Notes

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Refer to **Sheet L2.01** for Planting Plan (South)

Refer to **Sheet L2.03** for Plant Legend,
Plant List, and Planting Notes

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All changes and extensions are the sole responsibility of the licensee. A licensee who is responsible for decisions is liable or is not subject to the licensee's liability (strict liability).

CLIENT
Ballenas Housing Society

NO.	DATE	ISSUE
1	2024-10-17	DR SUPERVISION
2	2025-07-02	DR SUPERVISION

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PROJECT 2011
TRACKSIDE
55, 65, 69, 73 PRIDEAUX STREET
NANAIMO, BC

PLANTING PLAN NORTH

CITY FILE NO.

SCALE 1:100

DATE 2024-10-01

DB CA1 **CB** K2 

L2.02

PLANTING NOTES

1. All landscape construction to be in accordance with the City of Nanaimo Engineering Standards and Specifications.
2. All landscape installation and maintenance to meet or exceed the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
3. Growing medium to meet or exceed the properties outlined in the Canadian Landscape Standard per Section 6 Growing Medium, Table T-6.3.5.3. Properties of Growing Media Level 2 "Growth" - 3P.
4. Growing Medium Depth (unless otherwise specified):
Tree Planting Area: 1 cu. m. per tree
Shrub & Ground Cover Area: 450mm (18") depth
Sodded Area: 150mm (6") depth
5. Mulch to be Compost per Section 10 Mulching of the Canadian Landscape Standard. Mulch depth to be 10mm minimum depth over all tree, shrub, and groundcover planted areas.
6. Plant material quality, transport and handling shall comply with the CNLA standards for Nursery Stock.
7. All plant material shall match type and species as indicated on the planting plan. Contact the Landscape Architect for approval of substitutions. No substitutions will be accepted without prior written approval of the Landscape Architect.
8. Check for locations of water lines and other underground services prior to digging tree pits. Excavated plant pits shall have positive drainage. Plant pits when fully sodded with water shall drain within one hour after filling.
9. No plants requiring pruning or major branches due to disease, damage or poor form will be accepted.
10. All tree, shrub, groundcover and lawn area shall be watered via an underground automatic irrigation system utilizing "Smart" (ET/Weather-based) irrigation control. Irrigation emitters to be high efficiency low volume rotary nozzles or drip irrigation equipment.

TREE & PLANT LEGEND

Coniferous Trees

- Po (3) Picea omarika Bruns
- Pc (7) Pinus contorta
- P (4) Pseudotsuga menziesii

Deciduous Trees

- Ac (25) Acer circinatum
- A (3) Acer macrophyllum
- Ap (10) Acer palmatum 'Osakazuki'
- Cc (6) Cercis canadensis 'Forest Pansy'
- Ce (6) Cornus edulis white wonder
- Pp (11) Parrotia persica
- Qp (11) Quercus palustris 'Pingreen'
- S (6) Styax japonica

Deciduous Shrubs

- Aa Amelanchier alnifolia
- Cs Cornus sericea
- Rs Ribes sanguineum
- Rn Rosa Nutkana
- V Vaccinium (mix varieties)

Evergreen Shrubs

- Arb Arbutus unedo
- Gs Gaultheria shallon
- Lj Lavandula x intermedia 'Provence'
- Mn Mahonia nervosa
- Rh Rhododendron 'Glacier'
- Ro Rosmarinus officinalis
- Vo Vaccinium ovatum

Ferns, Grasses & Perennials

- Am Achillea millefolium 'moonshine'
- At Aquilegia formosa
- Df Dicentra formosa
- Gl Gaura lindheimeri
- Ln Luzula nivea
- Np Nepeta dropmore blue
- Pa Pennisetum alopecuroides
- Pm Polystichum munitum
- Sn Salvia nemorosa 'Cardonna'
- Sl Solidago lepidota

Groundcovers

- At Alchlys triphylla
- Au Arctostaphylos uva-ursa
- Fc Fragaria chiloensis
- Fv Fragaria vesca
- Sr Sedum rupestris 'Angelina'
- Tg Tellima grandiflora
- Tv Thymus vulgaris
- Tl Trientalis latifolia

Bulb

- Ag Allium 'Globemaster'

GRASS LAWN
Area: 68m²
Soil Depth: 150mm
(Premium Pacific Seeds Drought Smart Mix or Equivalent)

PLANT LIST

Key	Qty	Botanical Name	Common Name	Pot Size	Spacing	Notes
Coniferous Trees						
Po	3	Picea omarika Bruns	Serbian Spruce	#15	10m Ht.	Non-native
Pc	7	Pinus contorta var. aurantia	Shore Pine	#15	10m Ht.	Native
P	4	Pseudotsuga menziesii	Douglas Fir	#15	75m Ht.	Native
Deciduous Trees						
Aa	25	Acer circinatum	Vine Maple	#15	6m Ht.	Native
A	3	Acer macrophyllum	Big Leaf Maple	#15	10m Ht.	Native
Ap	10	Acer palmatum 'Osakazuki'	Japanese Maple	#15	6m Ht.	Ornamental
Cc	6	Cercis canadensis 'Forest Pansy'	Red Bud	#20	6m Ht.	Ornamental
Ce	6	Cornus 'Eddies White Wonder'	White Flowering Dogwood	#20	7m Ht.	Hybrid Native
Qp	11	Quercus palustris 'Pingreen'	Columar Pin Oak	#20	15m Ht.	Columar
Pp	11	Parrotia persica	Persian Ironwood	#20	7m Ht.	Ornamental
S	6	Styax japonica	Japanese Snowbell	#20	6m Ht.	Ornamental
Deciduous Shrubs						
Aa	20	Amelanchier alnifolia	Saskatoon Berry	#2	Multistem	Native
Cs	8	Cornus sericea	Red Twig Dogwood	#2	1.2m o.c.	Native
Rn	20	Rosa sanguinea	Red Flowering Currant	#2	1.2m o.c.	Native
R	17	Rosa Nutkana	Nutka Rose	#2	1.2m o.c.	Native
V	30	Vaccinium (mix varieties)	Blueberry	#2	1.2m o.c.	Ornamental
Evergreen Shrubs						
Arb	8	Arbutus unedo 'Compact'	Compact Strawberry Tree	#3	2m o.c.	Ornamental
Gs	425	Gaultheria shallon	Salal	#1	60cm o.c.	Native
Lj	20	Lavandula x intermedia 'Provence'	French Lavender	#1	60cm o.c.	Ornamental
Mn	230	Mahonia nervosa	Cold Oregon Grape	#1	60cm o.c.	Native
Rh	46	Rhododendron 'Glacier'	Evergreen Azalea	#2	1.2m o.c.	Ornamental
Ro	10	Rosmarinus officinalis	Rosemary	#1	1m o.c.	Ornamental
Vo	100	Vaccinium ovatum	Evergreen Huckleberry	#1	1m o.c.	Native
Ferns, Grasses & Perennials						
Am	60	Achillea millefolium 'moonshine'	Yarrow	#1	60cm o.c.	Ornamental
At	142	Aquilegia formosa	Red Columbine	15cm	45cm o.c.	Native
Df	42	Dicentra formosa	Pacific Bleeding Heart	15cm	60cm o.c.	Native
Gl	248	Gaura lindheimeri	Sea Blissem	#1	45cm o.c.	Ornamental
Ln	196	Luzula nivea	Snowy Woodrush	#1	45cm o.c.	Ornamental
Np	148	Nepeta dropmore blue	Calamint	#1	60cm o.c.	Ornamental
Pa	35	Pennisetum alopecuroides 'Hameli'	Dwarf Fountain grass	#1	60cm o.c.	Ornamental
Pm	825	Polystichum munitum	Giant Fern	#1	60cm o.c.	Native
Sn	20	Salvia x sylvestris 'Cardonna'	Purple Violet Sage	#1	60cm o.c.	Ornamental
Sl	46	Solidago canadensis	Canada Goldenrod	15cm	60cm o.c.	Native
Groundcovers						
At	73	Alchlys triphylla	Vanilla Leaf	15cm	45cm o.c.	Native
Au	91	Arctostaphylos uva-ursa	Koniknick	15cm	45cm o.c.	Native
Fc	294	Fragaria chiloensis	Coastal Strawberry	15cm	45cm o.c.	Native
Fv	246	Fragaria vesca	Woodland Strawberry	15cm	45cm o.c.	Native
Sa	47	Sedum rupestris 'Angelina'	Stonecrop	15cm	45cm o.c.	Ornamental
Tg	23	Tellima grandiflora	Fringetop	15cm	45cm o.c.	Native
Tv	37	Thymus vulgaris	Garden Thyme	#1	45cm o.c.	Ornamental
Tl	173	Trientalis latifolia	Broad-leaved Starflower	15cm	45cm o.c.	Native
Bulbs						
Ag	43	Allium 'Globemaster'	Ornamental Onion	bulb	30cm o.c.	Ornamental
Seeds						
Grass		Premium Pacific Seeds Drought Smart Mix or Equivalent				Hybrid Native
Seeding						

TOTAL NUMBER OF TREES TO BE PLANTED: 92

Coniferous Trees: 14

Deciduous Trees: 78

Please contact the Landscape Architect for approval of any plant substitutions.

KINSHIP DESIGN ART ECOLOGY

Kate Stuflik BCALA

T: 250-753-6400

No substitutions will be accepted without prior written approval of the Landscape Architect.

Refer to Sheet L2.01 for Planting Plan (South)
Refer to Sheet L2.02 for Planting Plan (North)

NOT FOR CONSTRUCTION